

CHAPTER TWO

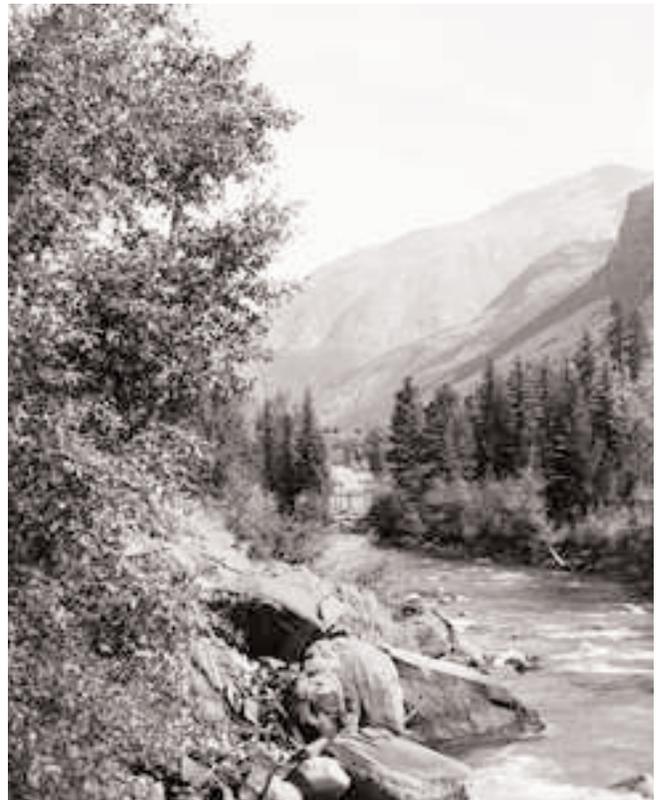


WORKING WITH THE SITE

One of the most charming aspects of Redstone is its pedestrian scale. Various site planning issues are critical to preserving the pedestrian scale that is created and maintained in many ways, including:

- The combination of different uses, such as residences, shops, churches, etc. in close proximity to each other;
- The arrangement buildings creating “outdoor rooms” and focal points (such as the Redstone Inn at the end of the Boulevard);
- The design of buildings and building elements that create dimensions a person can relate to;
- The reduction of conflicts between pedestrian and automobile traffic;
- The cultivation of a landscape which allows for shading and a visual connection between buildings.

The following guidelines are designed to strengthen these qualities where they have eroded and to ultimately enhance the aesthetic and functional environment of Redstone from a pedestrian standpoint.



the crystal river

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2.1 SITE PLANNING

Principles:

- The site plan should be designed to be consistent with the character of the historic fabric of the town.
- The traditional setbacks, the building orientation to the street, and the pedestrian scale of the Boulevard should be respected.
- The traditional organization of other areas of the village should be respected.



view of redstone Boulevard circa 1910

Background:

The village of Redstone consists of the Boulevard, the Hill, and the Castle with its supporting buildings. The Boulevard and the Hill were the site of a majority of the housing and services for the workers. The castle and its associated buildings were primarily the realm of Osgood and his family. The Boulevard is strictly confined in a linear pattern between the river to the west and a steep rise to the east. The distinctive Redstone Inn acts as a focal point at the south end of the Boulevard. Houses were historically arranged perpendicular to the street with simple lawns and front porches. Buildings had generous side yards and facades typically sharing a similar set back from the street. Front yard setback requirements, which were created after the development of Redstone, do not always coincide with the “facade line” that has actually been established. The Hill and the areas around the Castle were developed in a more random pattern, relative to the slope of the hill and the vistas available. This pattern reflects overriding hierarchy set by Osgood’s social vision.

Garages and driveways were not part of the original town layout. The challenge facing Redstone today is how best to accommodate the automobile, while preserving historic character. RHPC’s aim is to incorporate space for cars in a manner such that their visual impact is minimized. Parking requirements are based on the use of the site, as listed in the Pitkin County Land Use Code.

Guidelines:

A. Side Yard Set Backs

1. Examine the sideyard setback patterns established by adjacent lots and maintain the rhythm established by spacing between buildings. Refer to the Pitkin County Land Use Code for minimum setback requirements.

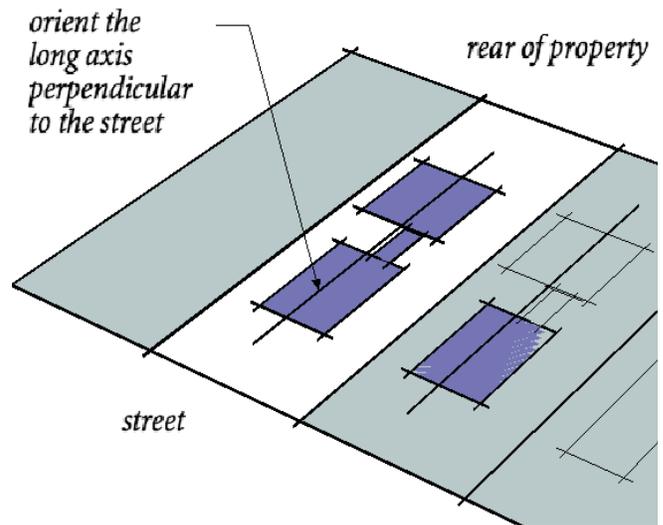
B. Front Yard Set Backs

1. For new construction, measure the front setback of the primary structures on the adjacent two lots on each side of the subject parcel. If at least 50% of the adjacent buildings (at least two buildings) are within 2 feet of a common setback line, the new development should also be within 2 feet of this line.
2. If at least 50% of the adjacent buildings (at least two buildings) are not within 2 feet of a common setback line, refer to the Pitkin County Land Use Code for minimum setback requirements.

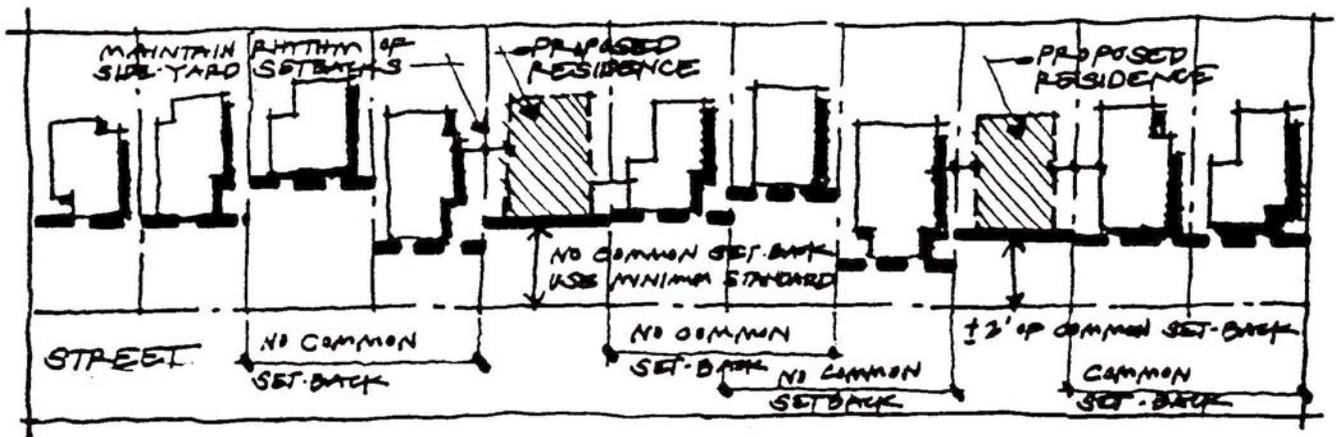
Mature trees should not be removed in order to meet this standard.

C. Building Orientation on Redstone Boulevard

1. Orient buildings perpendicular to the street.
2. Place the narrow end of the building facing the Boulevard, with the front entry located on that façade.



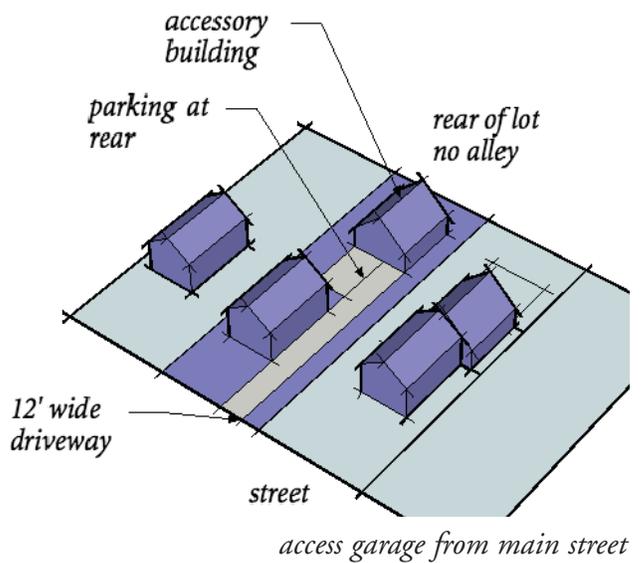
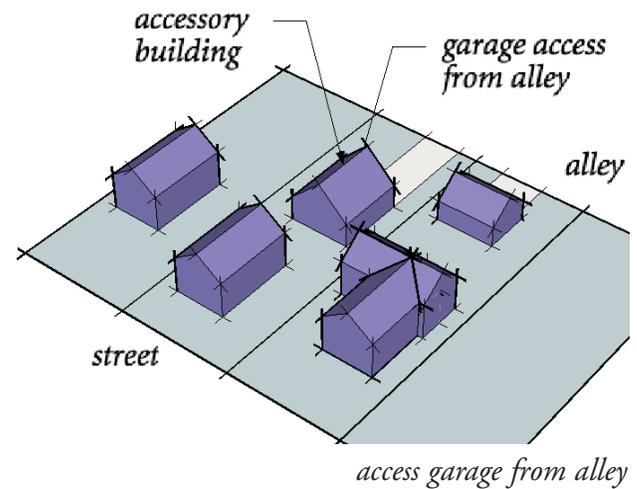
orientation on the Boulevard



find and respect the common set back line established by adjacent buildings

D. On Site Parking

1. Use the Pitkin County Land Use Code to determine the requirements for commercial and residential parking.
2. Use the alley to access parking where possible.
3. Create parking for commercial activities at the rear or side of the building.
4. Accommodate the disabled by referring to the requirements of the ADA section of the International Building Code.
5. Other solutions may be considered for parking if they achieve the goals of the RHPC.
6. Any existing parking configurations that are in conflict with this guideline should not be expanded.



a driveway off the Boulevard

E. Driveways

1. Create a driveway with a maximum of 14' of width. No more than one driveway cut will be allowed for each property.
2. Finish driveways and parking areas with a porous surface such as screened gravel.

F. Garages

1. Locate garages in accessory structures.
2. Use Section 4.3 for the design of accessory structures.

2.2 SITE ELEMENTS

Principles:

- The pedestrian character of the street should be preserved by limiting the impacts of the automobile on Redstone Boulevard.
- The linear pattern of the buildings on the Boulevard should be respected by preserving the historic layout of buildings and the broad yards of the historic landscape.
- The dark night sky should be preserved through the careful use of exterior lighting.



lilacs on the Boulevard

Background:

Redstone Boulevard organizes the majority of the town site into a simple linear pattern of houses arranged perpendicular to the street with simple lawns and front porches. The Redstone Inn (the largest remaining historic structure on the Boulevard) terminates the south end of the Boulevard. The remainder of the historic town consists of houses scattered on the eastern hillside and the buildings that make up the Castle complex.

Originally the residential areas of the Boulevard were lined with low fences separating the yards from the street, without obscuring views to the house facades.

Although the electric light came to Redstone early in its history, extensive lighting has the potential to heavily impact the character of the historic town. The challenge for the town today is to accommodate lighting while limiting its impacts. Lighting should be designed for safety and focused downward to preserve the view of the night sky.

The original Boulevard featured only those businesses that were owned by Osgood and served his employees. The Boulevard today must support many diverse businesses to make Redstone an attractive destination for visitors and to support the local population. Signage creates a lively streetscape and is a desirable element in the landscape, provided that they are compatible with the character of the area.

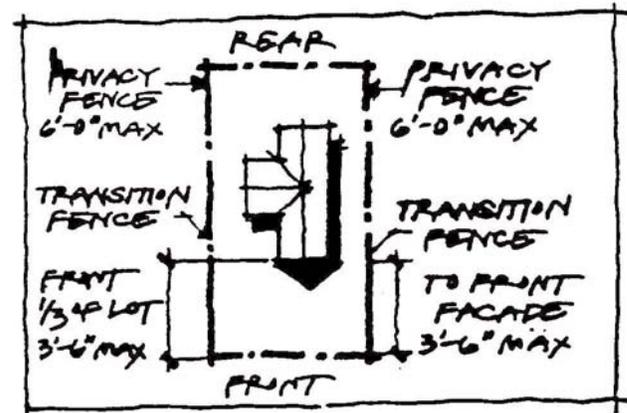
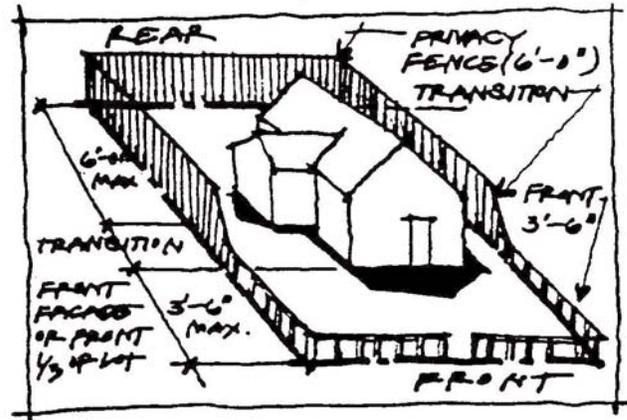
Guidelines:

A. Fences

1. Front Yard Fences: From the front property line to the front facade of the building, or from the front property line to a distance 1/3 of the way to the rear lot line whichever is a greater distance from the street, fences should be at least 50% open in character (this means 50% solid and 50% void) and should not exceed 3 feet 6 inches in height.
2. Fence Transition: Where a front yard fence meets a rear yard fence, an area of transition should be created. The transition should begin behind the front yard fence line and extend a minimum of 3' back sloping up to the higher rear fence. This area may be solid and should be of similar materials and construction to the rear fence.
3. Rear Yard Fences: From the point described above, in A.2, to the rear of the property line, fences may be built to a maximum height of six feet. This fence area may be solid.

B. Fence Materials and Construction

1. Fences should be constructed primarily of wood.
2. Solid hedges should not exceed 3 feet 6 inches.
3. Construct fences so that the finished side of the fence faces out, resulting in a "good neighbor fence."
4. Stone and brick elements may be used for bases but should be kept to a minimum.
5. Chain link fences are discouraged.
6. Boulders should not be used in the place of a fence.



C. Lighting

1. All exterior lighting must adhere to the Pitkin County Land Use Code requirements for exterior lighting fixtures.
2. Limit the use of exterior lighting for residential structures to entry lighting as required by the Building Code; minimal downward landscape lighting may be appropriate for walkways.
3. Exterior lighting for commercial structures may include subtle downward architectural lighting, which illuminates elements of the building or a business sign.

2.3 LANDSCAPE DESIGN & TREES

Principles:

- A simple landscape is consistent with the original character of the historic town.
- The pattern of significant street trees enhances the pedestrian experience.



cottonwoods and aspens on the Boulevard

Background:

The town of Redstone is carved out of a wilderness setting and experiences harsh climatic conditions. The careful selection of landscape materials is critical to their success. The use of indigenous plant materials ensures a healthy landscape; however there is the opportunity to introduce some variety with the use of other hardy species.

The simple open landscape allows the architectural character of town to be seen from the public way. Allowing front porches and entries to be visible and welcoming helps to preserve an active and interesting streetscape.

The existing significant street trees encourage walking and add to the quality of the pedestrian experience. They also reinforce the character of the surrounding natural landscape.

The following guidelines identify issues that are important to the general character of Redstone, but are advisory only.

Guidelines

A. Landscaping

1. Use vegetation that is native or appropriate to Redstone, including evergreens, ponderosa pines, aspens and cottonwoods. Several reference books are available that describe appropriate plants for this altitude, and the appendix lists many tree species, some varieties of which are suited to Redstone's growing zone.
2. Leave the front of the house visible from the street by avoiding dense landscaping.
3. Hedges and large boulders are discouraged for the purpose of defining the property.
4. Planting in the riparian area is regulated by the Pitkin County Land Use Code. Consult the code for requirements.

B. Protection & Replacement of Existing Trees

1. Every effort should be made to retain existing street trees and significant trees on individual properties, both in terms of the design of the project and during the construction period.
2. If replacement becomes necessary, replacement trees should be of the largest practical size with the expectation that it will be a similar size to the original tree at maturity.
3. It is important to choose a variety of plant materials, especially for street trees, so that disease will not destroy the entire group. It is also important to consider where a tree will be located and how large it may grow when selecting the type of tree. For instance, dense evergreens are not appropriate street trees since their shade may create icing conditions. Property owners should respect their neighbors' access to sun and views.



generous lawns allow views to buildings on the Boulevard