

## CHAPTER THREE

# WORKING WITH HISTORIC STRUCTURES

Additions and alterations to historic structures must be carefully thought out, so as to minimize any required demolition and to create a subtle, but clear distinction between historic and new construction.

As a general policy, the RHPC encourages the repair, rather than replacement, of historic building materials and the preservation of historic buildings in their original contexts.

Alterations and additions to historic structures should, to the greatest extent possible, enhance the historic structure — allowing the structure to continue in a productive use while preserving the character of the community for future generations.



*House on Redstone Boulevard*

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## 3.1 PRESERVING HISTORIC INTEGRITY

### Principles:

- The planning and execution of a project involving a historic structure should limit the damage to the integrity of the structure. This includes repairs, maintenance, alterations, and additions.
- The demolition of original structure and materials should be minimized. Original materials should be preserved to the greatest extent possible.
- The original setting and location of the building should be preserved.



*detail of the Redstone Inn*

### Background:

One of the most important tenets in historic preservation is integrity. A building must retain its integrity in order to accurately convey the history that it represents. Integrity is based, in part, on the materials, construction methods, and the details of a historic building. As these elements are removed or replaced, integrity is diminished. It is the goal of the RHPC to ensure that any project involving a historic structure does not diminish the integrity of the building through the loss of original materials.

Setting and location are also important aspects of integrity and should be taken into consideration when planning a project with a historic structure. The relocation of a historic structure can alter the context of the building, as well as the original pattern of buildings on the street, thereby changing the historic character of the town.

This section refers to on-site relocation only. The RHPC will consider on-site relocation on a case by case basis using the following guidelines. Off-site relocation requests

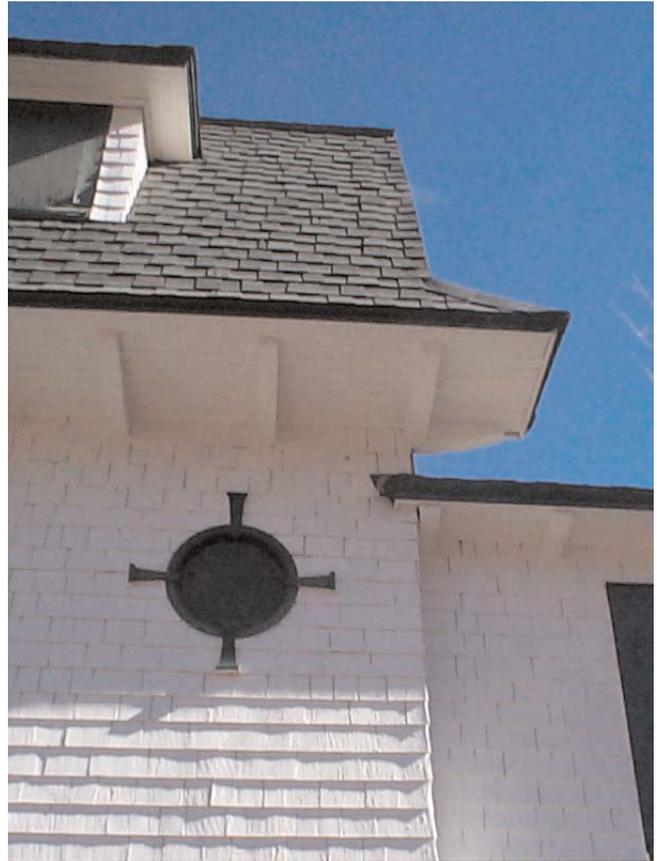
## Guidelines:

### A. Preservation of Historic Materials

1. Maintain the original materials to the greatest extent possible. If replacement is necessary, new materials should match original materials as closely as possible in order to preserve the historic integrity of the structure.
2. Create simple details to replace original details where they are missing and there is no information about the original appearance of that detail. Avoid creating an inaccuracy about the original appearance of the structure.
3. Design an addition to minimize the demolition of historic materials.

### B. On-Site Relocation of Historic Structures

1. Relocation must be in the best interest of the historic structure and will only be considered in extreme circumstances.
2. Relocation may be considered to mitigate deterioration of the structure due to natural conditions.
3. Relocation may be considered to mitigate for the encroachment of contemporary construction on the historic structure where no other solution is available.
4. Relocation of historic outbuildings will be considered based on the criteria in section 3.5.



*detail from a Hill house*

## 3.2 ALTERATIONS TO HISTORIC STRUCTURES

### Principles:

- Alterations to historic buildings should minimize the damage to the historic building.
- Non-characteristic features should not be added to historic structures.
- The setting of the historic building relative to the public way should be preserved or improved by the alteration.

Under these guidelines, repair includes:

- *Exterior maintenance such as: re-roofing, repair or replacement of siding or windows, or repair of decorative elements;*
- *Replacement of windows or replacement of deteriorated material.*

Under these guidelines, alterations include:

- *Changes to exterior constructions such as decks, awnings or shutters;*
- *Reconstruction of missing historic features when no other construction is proposed.*

Repair and Alteration proposals must be reviewed by Pitkin County staff and may be forwarded to the RHPC.

### Background:

Because it is critical to preserve the integrity of a historic structure (See 3.1), the term alteration refers both to proposed changes to the structure as well as to repairs that have the potential to erode the historic integrity of the building.



*the Ice House on the Boulevard  
note window alterations*

## Guidelines:

### A. Repair of Historic Structures

1. When replacing a roof, the new roof should be darker in color than the rest of the building. Dark asphalt shingles is the preferred material.
2. Metal roofs will only be approved in a rusted, dark brown, or dark gray color, with a non-reflective surface.
3. An existing roof that does not meet the coloration requirements described above may be replaced in kind if RHPC finds that the color has historical significance to the building.
4. Replacement of materials may be considered after physical review of the materials and agreement on the specific process for repair, including approval of replacement materials.
5. Restore original windows rather than replace them. Windows that are not original to the building may be replaced with units that comply with the guidelines in the Materials Chapter 5.
6. Original window openings on the principal facades should not be altered.

### B. Alterations to Historic Structures

1. Preserve original building features.
2. Preserve original surface detailing and its visibility.
3. Repair original materials to the extent possible.
4. Front porches should not be enclosed with walls or screens.
5. Original window openings on the principal facades should not be altered.
6. Non historic decorative elements should not be added to historic buildings.



*one of the houses on the Boulevard*

7. Historic elements that have been lost may be restored under the following conditions:
  - Photographic evidence should exist which describes the missing element to an extent that makes accurate reconstruction possible. That evidence should be used to create a plan for reconstruction that will be evaluated by the RHPC. The plan should include all details, materials and finishes proposed for the reconstruction.
  - In the absence of photographic evidence, reconstruction may take place provided that the applicant makes a compelling case for the historic accuracy of the proposal.
  - Reconstructions that are based solely on conjecture can not be considered.

### C. Awnings, Signage and Other Elements Applied to the Building

1. Elements applied to historic buildings should utilize minimal connections to the historic building and limit destruction of historic materials.
2. Awnings and signage should be designed so as to not conceal or damage historic features of the building.
3. Awnings on residential structures should be limited to the rear of the building.

### D. Addition of Decks

1. Decks should be located in the rear of the building so as to have the least negative impact on the overall character of the building.
2. Decks should be designed to be consistent with the character and scale of the building, utilizing similar railings, proportions, and materials.
3. Decks on the main level should be within 18 inches of grade.
4. Decks proposed to exceed 18" of grade will be considered on a case by case basis.
5. Decks that are located on upper stories shall be considered on a case by case basis and evaluated for their impacts on the historic structure. Considerations include the following: area of deck proposed, complexity of railing and stair details, visibility from the public way, and materials and finish.



*preparation for a new foundation*

### E. Foundations

1. New foundations may be added to a historic structure provided that the structure remain in its existing location and that the original relationship to grade is preserved.
2. Areas of Redstone that are in the flood plain require the new floor level of a building to be a minimum of 1' above the flood level. This is the maximum amount of increase in the height of the floor level that will be considered.

## 3.3 ADDITIONS TO HISTORIC STRUCTURES

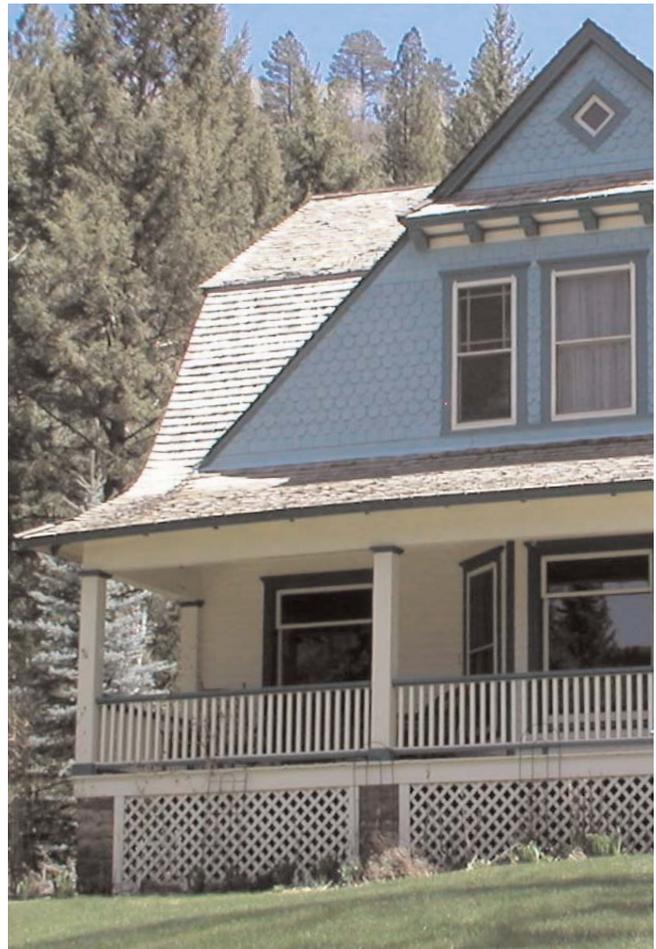
### Principles:

- Additions to historic buildings should be designed to minimize the damage to the historic building.
- Additions should be designed to be subservient and sensitive to the original building.
- A subtle distinction between old and new should be created and the new addition should not mimicking the original architecture.
- The setting of the historic building should be preserved relative to the public way.

### Background:

Additions should be designed to limit both the visual and physical impacts to a historic structure. Additions can alter the character of historic buildings through their location, scale, proportion, detail, and materials. Additions may also adversely impact the materials of the historic structure, diminishing the integrity of the building.

The various areas of Redstone have specific characteristics that are expressive of Osgood's original vision for his development. The hierarchy of building types that express his original social vision can be seen clearly throughout the village. This hierarchy should be respected and used in the design of both additions and new buildings.



*one of the Hill houses*

Additions are considered as two types:

- *Small Additions are defined by an increase in floor area of less than 30% of the total original structure. This could include dormers and the reconstruction of a previous small addition.*
- *Standard Additions will include all other increases in floor area.*

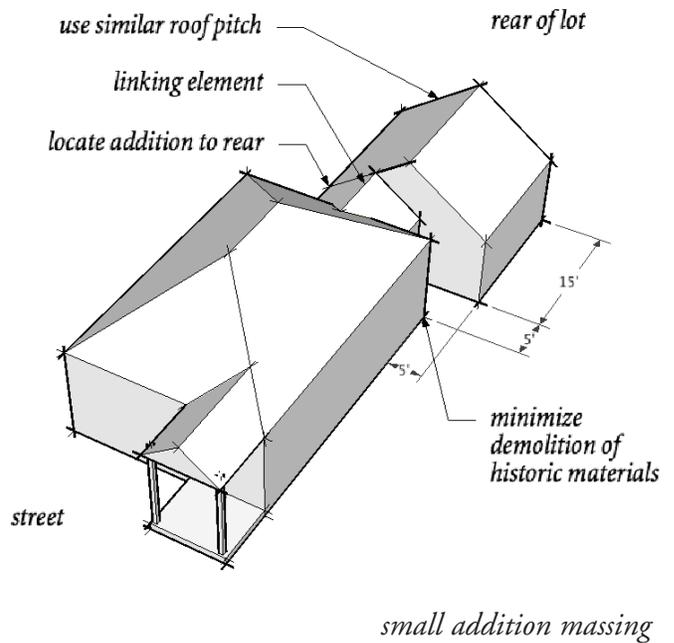
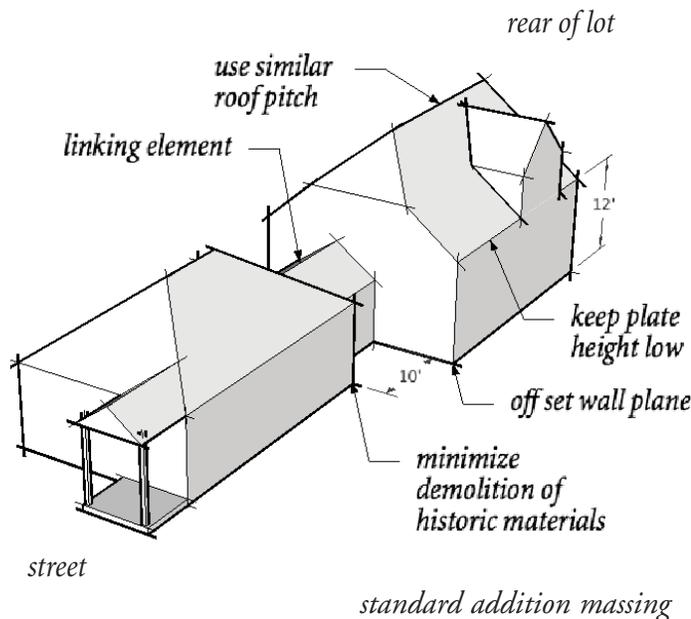
## Guidelines:

### A. Location of the Addition

1. Locate an addition to the rear of the historic structure.
2. Minimize the amount of damage to the historic structure, both in terms of materials and impacts on form and significant features.
3. Locate a new addition to replace a non-historic addition.

### B. Scale and Massing

1. Design an addition that does not dramatically alter the scale or form of the historic structure.
2. Design an addition to reflect the massing of the original historic structure.
3. Establish a clear distinction between the forms and planes of the historic building and new construction.



### C. Building Character

1. Maintain or compliment the sense of symmetry or asymmetry as defined by the original structure.
2. Maintain or compliment the proportions of the historic structure in the design of the new addition.

#### Guidelines for Small Additions

1. Provide a clear separation between the wall and roof surfaces of the historic structure and the new construction. (greater than one foot)
2. Dormers shall not be added to the historic roof plane. They may be added to areas of previous non-historic construction.

#### Guidelines for Standard Additions

1. Provide a connecting link between the historic structure and the new addition that is a minimum of 10' in length.
2. Break down the volume of large additions into modules that are sympathetic to the size of the historic structure.

## 3.4 ARCHITECTURAL ELEMENTS

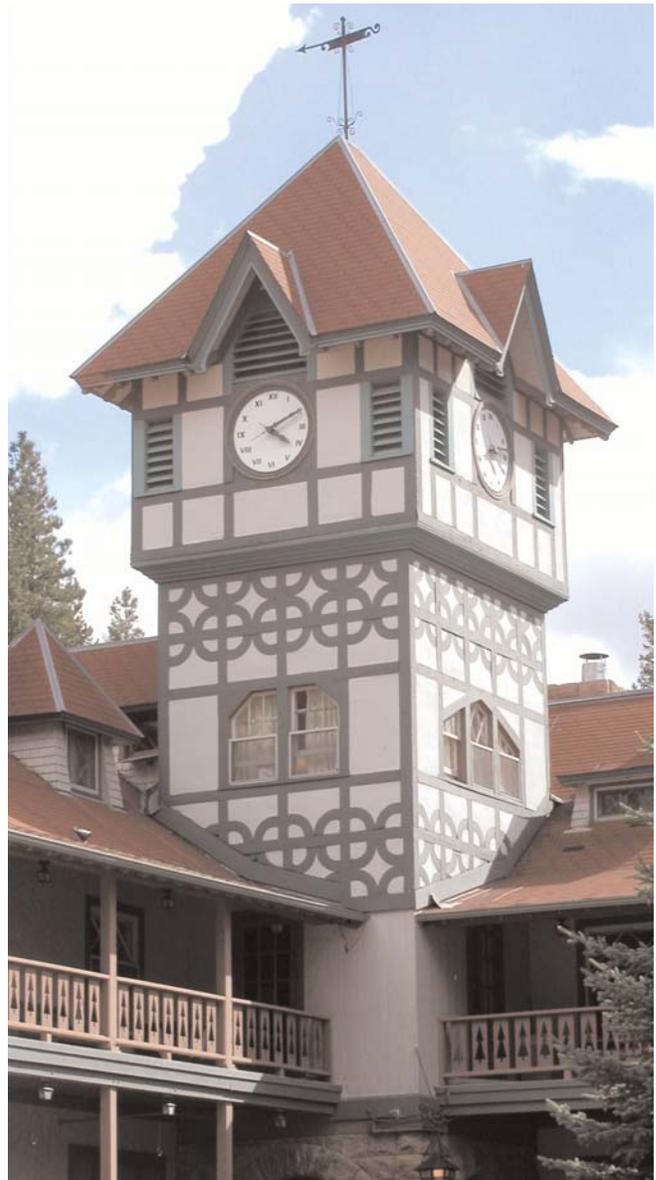
### Principles:

- Architectural elements should be used to enhance the overall design of the addition this includes door and window types, door and window patterns, and details such as porches, dormers, and decorative elements.
- The patterns and level of detail of the historic structure should be respected.

### Background:

Architectural elements play an important role in defining the overall scale and massing of the structure as well as providing design characteristics. Building elements should not simply mimic existing historic elements, but be elements which are compatible but are of our time. Building elements should be consistent with the complexity and pattern of the historic structure and other historic styles should not be introduced to the project.

The various areas of Redstone have different levels of detail relative to Osgood's ideas of social hierarchy. These levels of detail should be respected when designing additions in the district.



*detail of the Redstone Inn*

## Guidelines:

### A. Roof and Dormers

1. Design roof forms that compliment the historic form, both in complexity and character.
2. Utilize roof pitches that are in a similar range to the historic structure and are appropriate to the new roof form.
3. Design dormers which utilize the guidelines for dormers in Section 6.1.
4. Locate skylights in the rear 2/3 of the structure.
5. Select skylights that are low profile and can be mounted as flush to the roof plane as possible.

### B. Windows and Doors

1. Avoid alterations to existing window and door patterns in the historic structure.
2. Place windows proportionately around the structure and maintain the established solid to-void patterns.
3. Utilize window types that are compatible with the historic structure.
4. Restore historic windows if they have been altered, enclosed or removed.

### C. Porches and Decks

1. Historic front porches should not be enclosed.
2. Restore the historic front porch if it has been previously altered, enclosed, or removed.
3. Locate decks to the rear of the structure, using guidelines on page 22.
4. Design decks to be consistent with the character and scale of the building, utilizing similar railings, proportions, and materials.



*detail of the Redstone Inn*

### D. Decorative Elements

1. Use decorative elements that are consistent with the level of detail that exists on the historic structure.
2. Use decorative elements which are consistent with the overall design of the addition
3. Avoid adding new decorative elements which are not original to the historic structure.

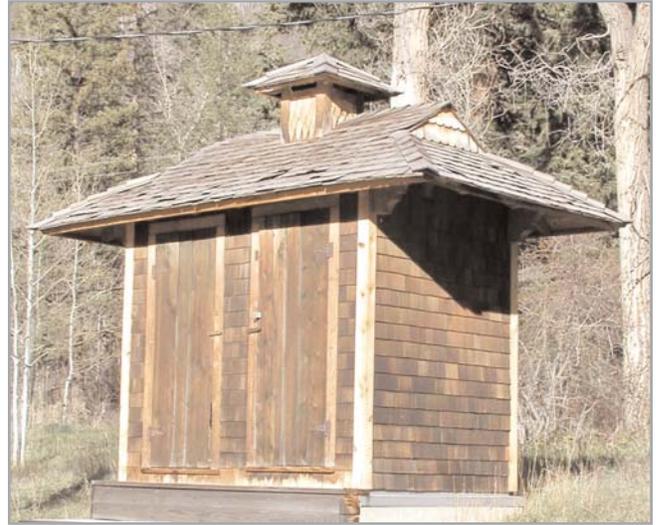
## 3.5 HISTORIC OUTBUILDINGS

### Principles:

- Historic outbuildings are an important part of the character of the community, and few remain.

### Background:

Historic outbuildings are indicative of the lifestyle of Redstone residents at the turn of the 20th century and often have elegant proportions and details. The restoration and reuse of these buildings preserves the town pattern and adds an element of character which was unique to the time.



*an original outhouse*

### Guidelines:

#### A. Preservation and Relocation of Historic Outbuildings

1. Historic outbuildings should not be demolished.
2. Preserve outbuildings in their original location to the greatest extent possible.
3. Relocate outbuildings only when it is in the best interest of the preservation of the structure and to a location which is historically appropriate.

#### B. Restoration of Historic Outbuildings

1. Restore deteriorated materials and elements with the assistance of the RHPC.
2. Use photographic evidence to restore missing elements or materials.
3. Restoration of outbuildings should not add non-original elements or details and should not alter the modest character of buildings.